

Secretary  
Development and Planning Commission  
Suite 631  
Europort  
Gibraltar

Tel: 350 20075483 Fax: 350 20074086

TOWN PLANNING AND  
BUILDING CONTROL  
18 NOV 2013  
**RECEIVED**

Form  
1

**APPLICATION FOR PLANNING AND BUILDING CONTROL APPROVAL**  
Under Sections 17 and 18 of the Town Planning Act, 1999 and Section 45 of the Public Health Act

Please read the guidance notes and complete in block letters. For Outline Planning Applications return 5 copies of this form and of the plans, for Planning/Building Control Approval applications return 8 copies (in both cases 1 set to be at A1 and the remainder at at A3 size) to the above address.

<p>1 Applicant's name and address (Not Agent): MINISTRY FOR HOUSING CITY HALL 23 JOHN MACKINTOSH SQUARE. Tel No: 20049417 Fax No: 20049432 E-mail: paul.maclaren@gibraltar.gov.gi</p>	<p>2 Name and address of Agent:  N/A Tel No: Fax No: E-mail:</p>
<p>3 Location of proposed works: SANOPITS HOUSE GIBRALTAR Property No: CP/FP:</p>	<p>4 Status of applicant (tick appropriate box): Freeholder <input checked="" type="checkbox"/> Leaseholder <input type="checkbox"/> Tenant <input type="checkbox"/> Other (please specify) <input type="checkbox"/></p>
<p>5 Application Type: (please tick appropriate box): Outline Planning Application <input type="checkbox"/> Planning/Building Control Application <input checked="" type="checkbox"/></p>	<p>6 Previous permission: If this is an application for a permit following the grant of outline planning permission, please state reference number of approved outline planning application: BA..... /</p>
<p>7 Description of development: (briefly describe proposals) A CONSTRUCTION OF A NEW MONO-PITCH ROOF STRUCTURE OVER EXISTING FLAT ROOF TO BLOCK ..... Tick box if development involves: New build <input checked="" type="checkbox"/> Demolition <input type="checkbox"/> New access to highway <input type="checkbox"/> Change of use <input type="checkbox"/> Alterations/extension <input type="checkbox"/> Altered access to highway <input type="checkbox"/></p>	
<p>8 Estimated cost of works: £100,000.00</p>	<p>9 Owner of building or land (Name and address): (a) Freeholder GIBRALTAR GOVERNMENT (b) Leaseholder /</p>
<p>10 Use of existing building or land: State the current use of the site..... RESIDENTIAL RENTAL HOUSING If vacant state last use .....</p>	

<p>11 Density of development (Floor Space Index):</p> <p>Site area <span style="margin-left: 100px;">N/A</span> Sq m</p> <p>Aggregate area of floorspace within building Sq m</p>	<p>12 State total number of parking spaces:</p> <p>Existing: ..... N/A .....</p> <p>Proposed: .....</p>																																														
<p>13 Percentage of plot covered by:</p> <p>(a) Existing building ..... N/A .....%</p> <p>(b) Proposed building .....%</p>	<p>14 Height of building:</p> <p>State overall height of proposed building(s) in metres :</p> <p style="text-align: center;">N/A</p>																																														
<p>15 Environmental Impact Assessment:</p> <p>Does your proposal, require the submission of an Environmental Impact Assessment under the Town Planning (Environmental Impact Assessment) Regulations 2000 ?</p> <p style="text-align: center;">YES/NO</p>																																															
<p>16 Felling of trees:</p> <p>Please tick box if development involves the felling of tree(s) and show species and location on plan. <input type="checkbox"/></p>	<p>17 Drainage:</p> <p>Method of surface &amp; foul water drainage (tick box)</p> <p>New <input type="checkbox"/> Existing <input checked="" type="checkbox"/></p>																																														
<p>18 Floorspace</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:30%;">Use</th> <th style="width:20%;">Existing sq m</th> <th style="width:20%;">Proposed sq m</th> <th style="width:30%;">Total sq m</th> </tr> </thead> <tbody> <tr> <td>Residential</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Industrial</td> <td style="text-align: center;">N/A</td> <td></td> <td></td> </tr> <tr> <td>Office</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Shop</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Storage/distribution</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Pther (please specify)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Total</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		Use	Existing sq m	Proposed sq m	Total sq m	Residential				Industrial	N/A			Office				Shop				Storage/distribution				Pther (please specify)				Total																	
Use	Existing sq m	Proposed sq m	Total sq m																																												
Residential																																															
Industrial	N/A																																														
Office																																															
Shop																																															
Storage/distribution																																															
Pther (please specify)																																															
Total																																															
<p>19 Residential type:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2" style="width:30%;">Housing Type</th> <th colspan="2" style="width:20%;">No of units</th> <th rowspan="2" style="width:20%;">Type of units</th> <th colspan="2" style="width:20%;">No of units</th> </tr> <tr> <th>Existing</th> <th>Proposed</th> <th>Existing</th> <th>Proposed</th> </tr> </thead> <tbody> <tr> <td>Detached</td> <td></td> <td></td> <td>1 bedroom</td> <td></td> <td></td> </tr> <tr> <td>Semi-detached</td> <td style="text-align: center;">N/A</td> <td></td> <td>2 bedroom</td> <td></td> <td></td> </tr> <tr> <td>Terraced</td> <td></td> <td></td> <td>3 bedroom</td> <td></td> <td></td> </tr> <tr> <td>Apartments</td> <td></td> <td></td> <td>4 bedroom</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td>Others</td> <td></td> <td></td> </tr> <tr> <td>Total</td> <td></td> <td></td> <td>Total</td> <td></td> <td></td> </tr> </tbody> </table>		Housing Type	No of units		Type of units	No of units		Existing	Proposed	Existing	Proposed	Detached			1 bedroom			Semi-detached	N/A		2 bedroom			Terraced			3 bedroom			Apartments			4 bedroom						Others			Total			Total		
Housing Type	No of units		Type of units	No of units																																											
	Existing	Proposed		Existing	Proposed																																										
Detached			1 bedroom																																												
Semi-detached	N/A		2 bedroom																																												
Terraced			3 bedroom																																												
Apartments			4 bedroom																																												
			Others																																												
Total			Total																																												

20 Ownership details (see guidance notes)

We need to know who owns the application site. If you do not own the site or if you only own part of it, we need to know the name(s) of the owner(s). We also need to be sure that any other owner(s) knows that you have made an application. Please read the attached guidance notes if in doubt.

If you are the sole owner of the whole site Certificate A will apply. Please tick the appropriate box below:

CERTIFICATE A

I certify that at the beginning of the period 21 days ending with the date of this application, nobody, except the applicant, was the owner(s) of any part of the land to which this application relates.

CERTIFICATE B

I certify that the applicant (or his agent) has given the requisite notice (Form S21A attached) to everyone else who, at the beginning of the period 21 days ending with the date of this application, was the owner of any part of the land to which the application relates, as listed below:

Owner's name	Address at which notice was served	Date on which notice was served

Continue on a separate sheet if necessary

21 Public Participation

Some types of development are subject to public participation requirements under Section 19 of the Town Planning Act (referred to as "Section 19 developments").

Some common Section 19 developments include construction of buildings more than 4m in height, extensions of one or more additional storeys where the height would exceed 4m, swimming pools, use of land as bar/restaurant (including fast food restaurants). For the complete list seek advice from the Town Planning Division or refer to the Town Planning (General Procedures) Regulations, 2001, that can be viewed at [www.gibraltarlaws.gov.gi](http://www.gibraltarlaws.gov.gi)

If Section 19 applies you must:

- a. Place a notice (use form S19 attached) on site and this must remain for at least 14 days – you are advised to place the notice on site the same day the application is submitted. On completion of the 14 days, complete and submit the attached certificate (Form S19(Cert) attached).
- b. Place a notice (use form S19 attached) in the Gibraltar Gazette, a daily and weekly newspaper. Copies of each of the publications in which the notices are published must be submitted as soon as possible after their publication.

Tick the box if the proposal is a Section 19 development.

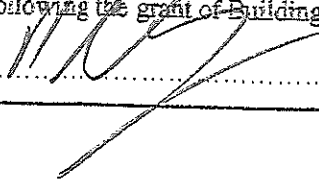
22 Drawings

List all drawings, plans and other documents included with the application.

NB Location and site plan MUST be included.

ORIG. N°: 214/00/13-21/04 TO 04 (inclusive)  
STRUCTURAL DESIGN PACKAGE & DRAWINGS

I/we hereby apply for permission to carry out the development described in this application and accompanying plan(s) and documents. I understand that an initial fee is payable on acknowledgement with a further fee payable following the first inspection following the grant of Building Control approval.

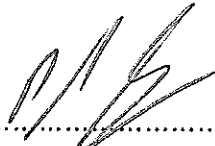
Signed  Date 14/11/13

Use this form to notify other 'owners' about your application.

TOWN PLANNING ACT  
NOTICE UNDER SECTION 21 OF AN APPLICATION FOR PLANNING PERMISSION

Proposed development at (a) SANDPITS HOUSE, GIBRALTAR I/we give  
notice that (b) THE MINISTRY FOR HOUSING is applying to the Development  
and Planning Commission for planning permission to (c) ERECT A NEW  
MONO-PITCH ROOF STRUCTURE OVER THE EXISTING  
FLAT ROOF.

Any owner\* of the land who wishes to make representations about this application should write to the  
Development and Planning Commission at Suite 631 Europort within 21 days of the date of this notice. Any  
representations must include a statement confirming that the applicant has been provided with a copy of the  
representations and the date this was done.

Signed   
\*\*On behalf of MINISTRY FOR HOUSING  
Date 19/11/13

\* "owner" in relation to any land, means a person who is for the time being the owner in respect of the fee simple thereof or is entitled to a tenancy thereof.

\*\*delete where appropriate.

- Insert
- (a) Address or location of the proposed development.
  - (b) Applicant's name.
  - (c) Description of the proposed development



Location Plan

The Site: sandpits House

**BUILDING APPLICATION**

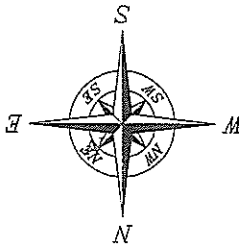
**PROPOSED MONOPITCH ROOF STRUCTURE  
OVER SANDPITS HOUSE,  
GIBRALTAR.**

Project: **PROPOSED NEW ROOF  
OVER SANDPITS HOUSE,  
GIBRALTAR.**

Drawing Title: **Location Plan**

Scale: 1:1250  
 Drawn: PGM  
 Date: Nov '13  
 Checked:

Dr. No: **214/00/13-21/01**



TOWN PLANNING AND  
 BUILDING CONTROL  
 18 NOV 2013  
**RECEIVED**

**Notes**

All dimensions and levels to be checked on site by contractor prior to commencing work. Do not scale from the drawing.  
 All dimensions in millimetres unless otherwise stated.  
 No work to be carried without the required building permits.  
 Any unsatisfactory loadbearing matter is to be replaced as directed by the Structural Engineer responsible for the Works.  
 No holes or openings, other than those shown on the drawings, are to be effected unless approved by the Structural Engineer responsible.  
 All areas disturbed during construction or demolition to be made good as required to adjacent areas adjacent.  
 All other existing structures to be examined on site by the Structural Engineer responsible.

**CONCRETE**

All concrete to be grade C 35 unless otherwise stated to comply with BS 8110.  
 Cement to be Ordinary Portland Cement unless otherwise stated.

**REINFORCEMENT**

Reinforcement to be cut and bent to BS 8666.  
 All reinforcement to be high yield deformed type 2 to BS/449 and have a min. characteristic strength of 460N/mm sq, unless otherwise stated.  
 All cover to be 50mm min unless otherwise stated.  
 All fabric mesh reinforcement is to comply with BS 4483

**STEEL**

All structural steel work to be grade 43 to BS 4360 and in accordance with BS5950.  
 All connections to be in accordance with BS 5950.  
 All bolts to be grade 4.6 black bolts to BS3692 unless otherwise stated.  
 All welding to be shopwelded with fillet welds unless otherwise stated. Welding to be done using electrodes E43 to BS639 unless otherwise stated.  
 All site welding must first be authorised by the Supervising Engineer.  
 All structural members to be factory primed after final welding and drilling.

All steel elements to be delivered to site with 2 coats of Hammerite paint (or similar approved) - top coat may be applied on site (to be HB Alkyd finish 60microns or equal approved)

**TIMBER**

All structural timber to be min in accordance with BS 5268 and be protected with a good quality primer after final cutting.

**MASONRY**

All structural masonry to comply with BS5628.  
 All structural masonry units to have a min compressive strength of 15N/mm sq, and be laid in mortar designation (ii) unless otherwise stated.  
 All new brickwork and/or blockwork to be tied to the loadbearing wall and/or structural elements.  
 Bricks used are to be Spanish Commons, min compressive strength 15N/mm2 and set in mortar designation (ii).  
 Concrete blocks if used are to have similar characteristics.  
 All new RC lintels to be min 200mm dp x full wall width, with min 2H12mm bars and 100mm bearing typical.

***BUILDING APPLICATION***

Project:

**PROPOSED NEW ROOF OVER SANDPITS HOUSE, GIBRALTAR.**

Drawing Title:

**Location Plan**

Scales: 1: 500

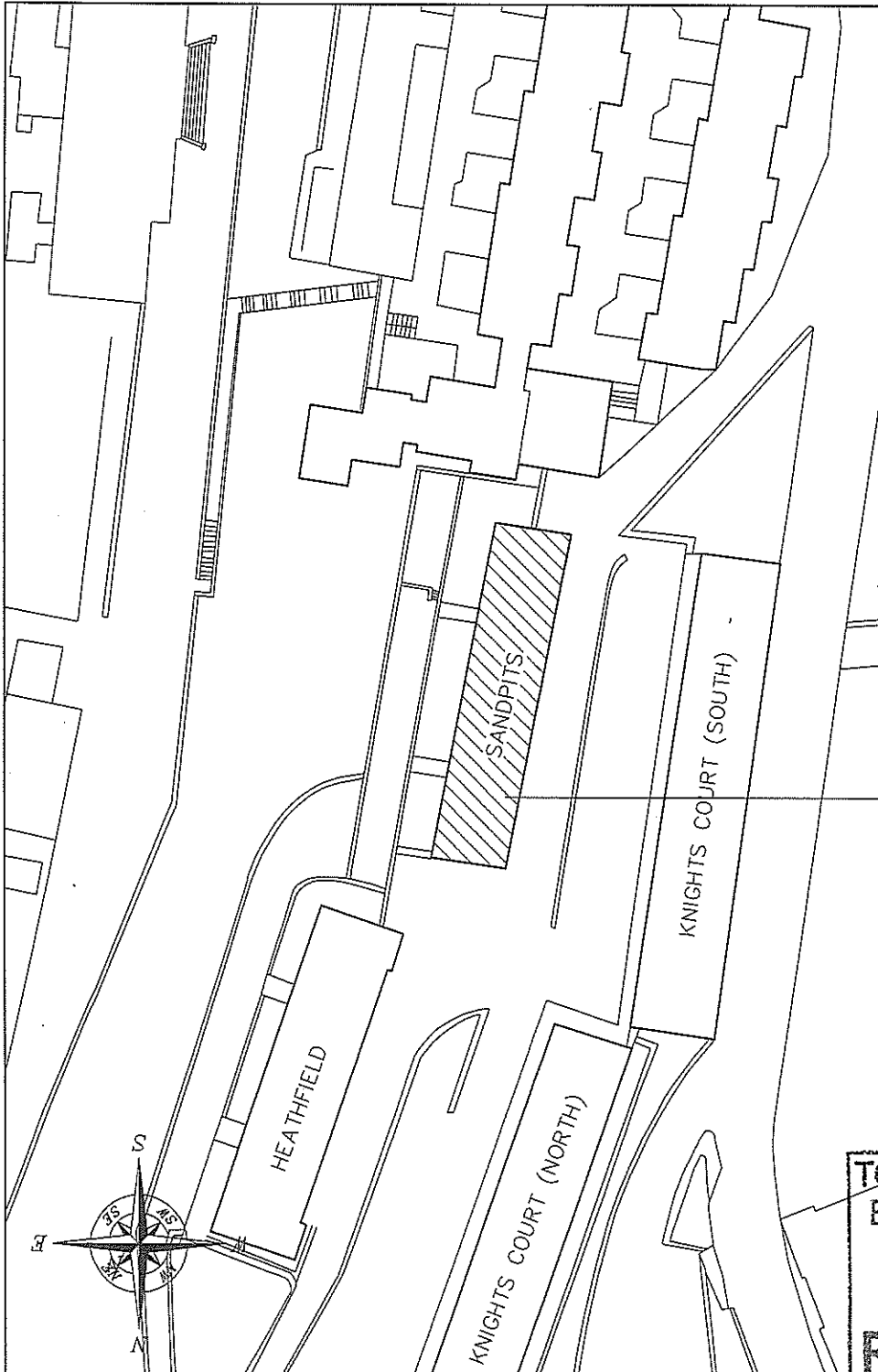
Drawn: PGM

Date: Nov '13

Checked:

**214/00/13-21/02**

Org. No.



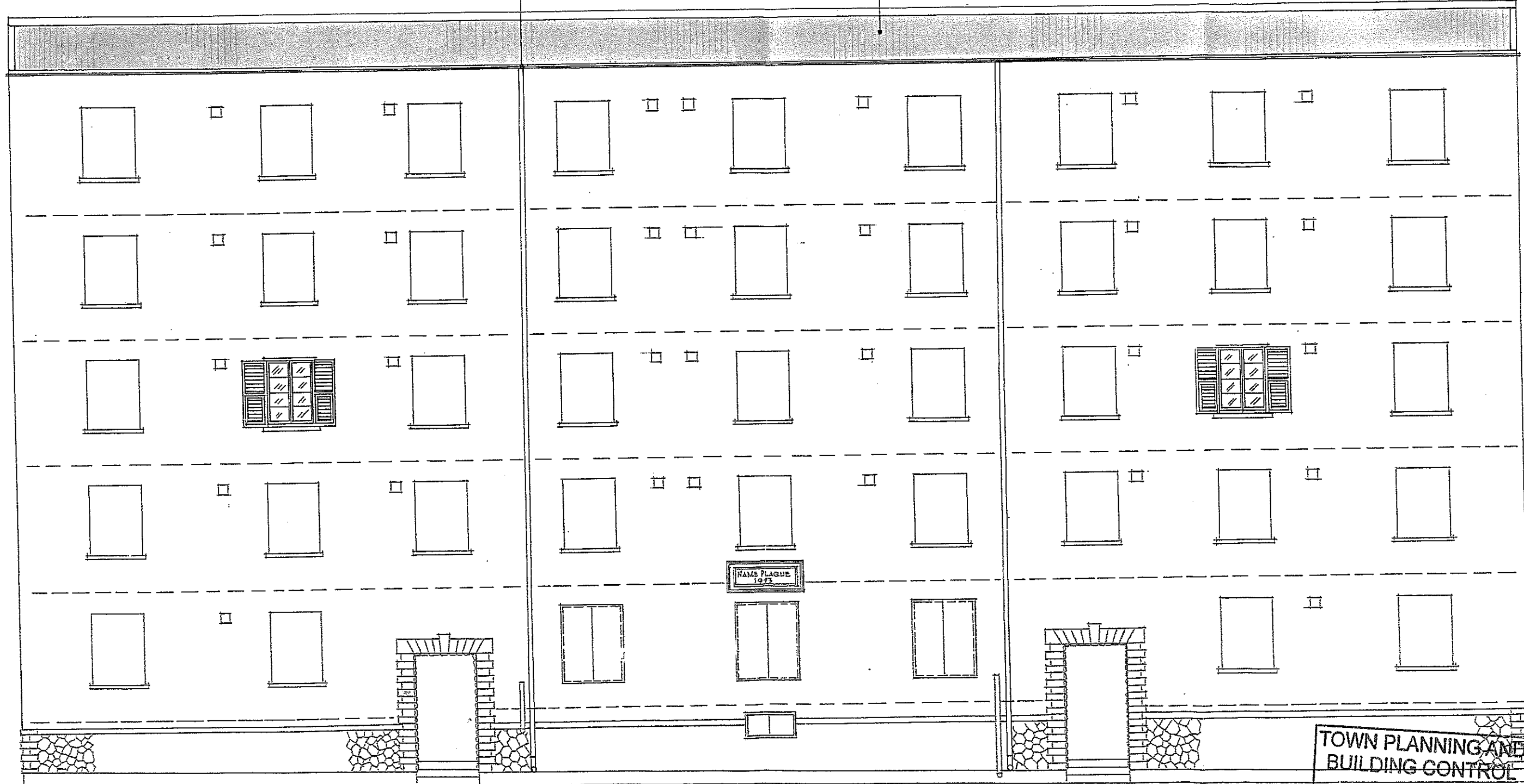
**The Site: Sandpits House**

**PROPOSED MONOPITCH ROOF STRUCTURE OVER SANDPITS HOUSE, GIBRALTAR.**

**TOWN PLANNING AND BUILDING CONTROL**  
 Site Plan 18 NOV 2013  
**RECEIVED**

NEW RAINWATER DRAINAGE SYSTEM TO BE APPROVED BY LOCAL TOWN PLANNER

NEW STRUCTURAL LIGHTWEIGHT STEEL TROSS ROOF SYSTEM FROM 'HUDSON' WITH 'KINGSPAN' INSULATED PANELS SIMILAR & APPROVED (ALL TO BE INSTALLED TO MANUFACTURER'S RECOMMENDATIONS)



**PROPOSED REFURBISHMENT & NEW ROOF TO SANDPITS HOUSE**

NOTES:  
All dimensions must be checked on site and not scaled from this drawing.

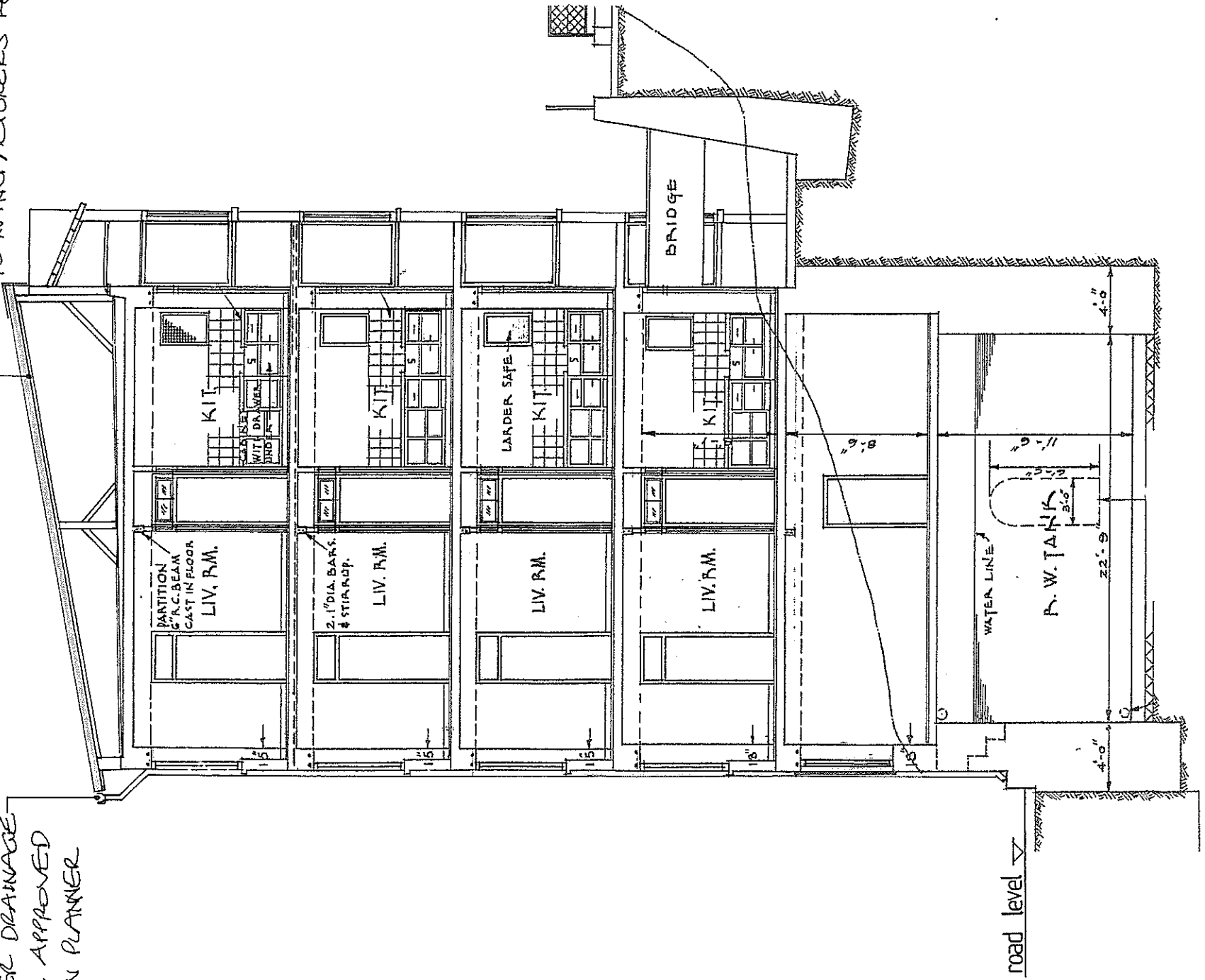
Client  
**Ministry for Housing**  
Job Title  
**Proposed west elevation**

Scale  
1:100 approx.  
Drawn by  
Date JULY 2013

TOWN PLANNING AND BUILDING CONTROL  
18 NOV 2013  
**RECEIVED**  
Drawing Title  
Drg No. 214/00/13-21/3  
Rev

NEW STRUCTURAL LIGHTWEIGHT  
 STEEL TRUSS ROOF SYSTEM  
 FROM 'HUDSON' WITH 'KINGSPAN' INSULATED PANELS OR  
 APPROVED CALL TO BE INSTALLED  
 TO MANUFACTURER'S RECOMMENDATIONS.

NEW RAINWATER DRAINAGE  
 SYSTEM TO BE APPROVED  
 BY LOCAL TOWN PLANNER



TOWN PLANNING AND  
 BUILDING CONTROL  
 18 NOV 2013  
**RECEIVED**

Drawing Title	
Drg No.	Rev
214/00/13-21/4	

Scale	1:100 approx.
Drawn by	
Date	JULY 2013

Client  
 Ministry for Housing  
 Job Title  
 Section showing new roof

PROPOSED REFURBISHMENT  
 & NEW ROOF TO  
 SANDPITS HOUSE